

# HISTORIC AND DESIGN REVIEW COMMISSION

August 04, 2021

**HDRC CASE NO:** 2021-356  
**ADDRESS:** 125 W ASHBY PLACE  
**LEGAL DESCRIPTION:** NCB 1885 BLK LOT A1  
**ZONING:** R-4, H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Monte Vista Historic District  
**APPLICANT:** Paul Franklin  
**OWNER:** David Garrett/GARRETT DAVID JR & ALICIA  
**TYPE OF WORK:** Fence and retaining wall replacement  
**APPLICATION RECEIVED:** July 16, 2021  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Rachel Rettaliata

## REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to replace the existing concrete retaining wall and wrought iron fence with a brick retaining wall and wrought iron fence in the same location as existing.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

### 1. Topography

#### A. TOPOGRAPHIC FEATURES

- i. *Historic topography*—Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way. Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion.
- ii. *New construction*—Match the historic topography of adjacent lots prevalent along the block face for new construction. Do not excavate raised lots to accommodate additional building height or an additional story for new construction.
- iii. *New elements*—Minimize changes in topography resulting from new elements, like driveways and walkways, through appropriate siting and design. New site elements should work with, rather than change, character-defining topography when possible.

### 2. Fences and Walls

#### A. HISTORIC FENCES AND WALLS

- i. *Preserve*—Retain historic fences and walls.
- ii. *Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.
- iii. *Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

#### B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed

historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

### C. PRIVACY FENCES AND WALLS

i. *Relationship to front façade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.

ii. *Location* – Do not use privacy fences in front yards.

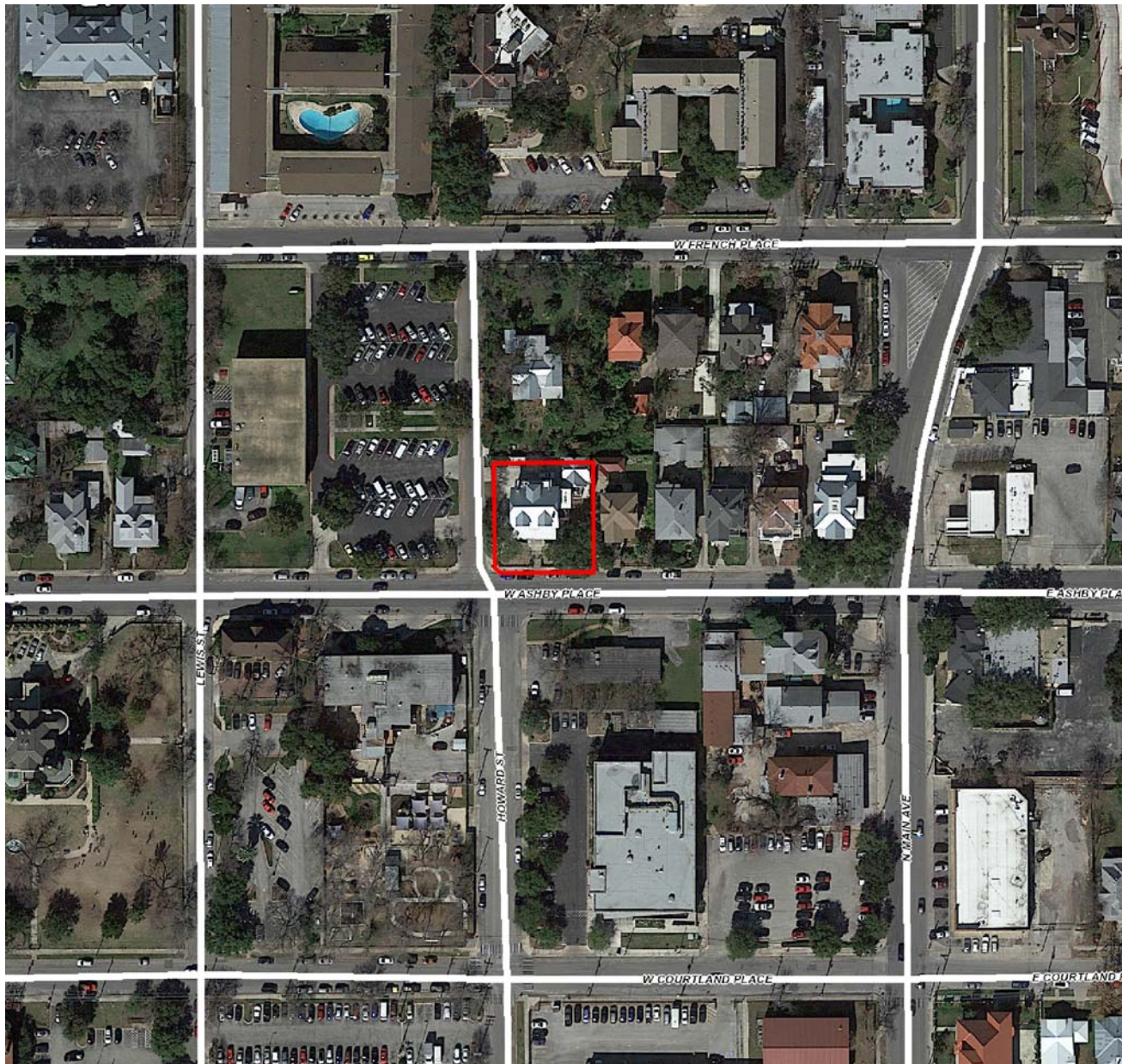
### FINDINGS:

- a. The primary structure at 125 W Ashby was constructed circa 1913 in the Classical Revival style and first appears on the 1951 Sanborn Map. The 2 ½ - story, single-family structure features a symmetrical front façade with first and second floor full-width porches with ionic columns and ornamental cornices. The primary structure is flanked by a porte-cochere on the west side and a bay on the right side. The structure is contributing to the Monte Vista Historic District.
- b. **RETAINING WALL REPLACEMENT** – The applicant has proposed to replace the existing concrete retaining wall along Howard Street with a brick retaining wall in the same location. The concrete retaining wall along W Ashby Place will remain. The proposed brick retaining wall will be unpainted and will feature brick pillars and pre-cast concrete caps to match the existing pre-cast concrete caps at the porte-cochere and on the primary structure. The proposed brick retaining wall will extend to 7'-10" at its highest point where it meets the existing driveway gate to the porte-cochere. The Historic Design Guidelines for site elements state that historic fences and walls should be retained. Only deteriorated sections that are beyond repair should be replaced. Replacement materials should match the color, texture, size, profile, and finish of the original. Staff finds the proposal inconsistent with the Guidelines. The applicant should retain the character of the existing property and the street, where simple concrete retaining walls are prevalent.
- c. **FENCE REPLACEMENT** – The applicant has proposed to replace the existing wrought iron fence with a wrought iron fence in the same location on the new brick retaining wall along Howard Street. The proposed replacement fence will extend 4 feet in height from the brick retaining wall and will feature a Greek key detail to match an existing pedestrian gate on the property and rods and finials to match the existing perimeter fence. Guideline 2.B.i for Site Elements states that new fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Fence design should respond to the design and materials of the house or main structure. Staff finds the replacement fence should be simplified to match the existing perimeter fence.
- d. **DRIVEWAY GATE REPLACEMENT** – The applicant has proposed to replace the existing driveway gate on Howard Street. The replacement gate will feature an arched top that will reach 8'-9" at the apex. The proposed driveway gate will exceed the height of the existing driveway gate and the height of the fence and retaining wall at that location. The Historic Design Guidelines for Site Elements state that the height of new fences and walls within the front yard should be limited to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains. Staff finds the proposal inconsistent with the Guidelines.
- e. **DRIVEWAY GATE MODIFICATIONS** – The applicant has proposed to install wrought iron gate crowns to the top of the existing driveway gate to the porte-cochere to match the existing pedestrian gate crown in the Pontalba style on the property. Guideline 2.B.i for Site Elements states that new fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure. Staff finds the proposal appropriate.

### RECOMMENDATION:

Staff recommends approval based on findings a through e with the following stipulation:

- i. That the retaining wall is replaced with a material that matches or is similar to existing based on finding b. The applicant must submit final material specifications to staff for review and approval.
- ii. That the retaining wall pillars are removed from the design and that the replacement retaining wall more closely match the design of the existing retaining wall based on finding b. The applicant must submit updated elevation drawings to staff for review and approval.
- iii. That the replacement retaining wall does not exceed 4 feet above grade and that no portion of the fence, including the gate, exceeds 6 feet in height based on findings b through d. The applicant must submit updated elevation drawings with dimensions to staff for review and approval.
- iv. That the replacement fence is simplified to match the existing perimeter fencing based on finding c. The applicant must submit updated material specifications for review and approval.
- v. That the gate and fencing must be permitted and meet the development standards outlined in UDC Section 35-514.



## Flex Viewer

Powered by ArcGIS Server

Printed: Jan 31, 2019

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## Google Maps 125 W Ashby Pl



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HOWARD STREET



HOWARD STREET



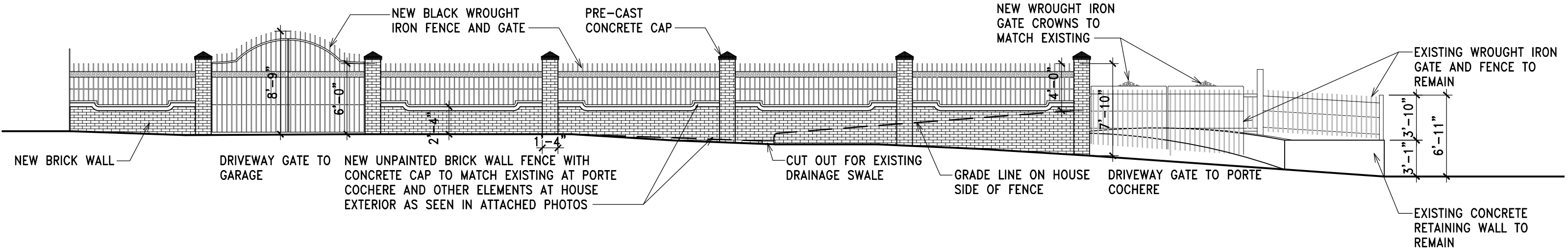
HOWARD STREET



HOWARD STREET



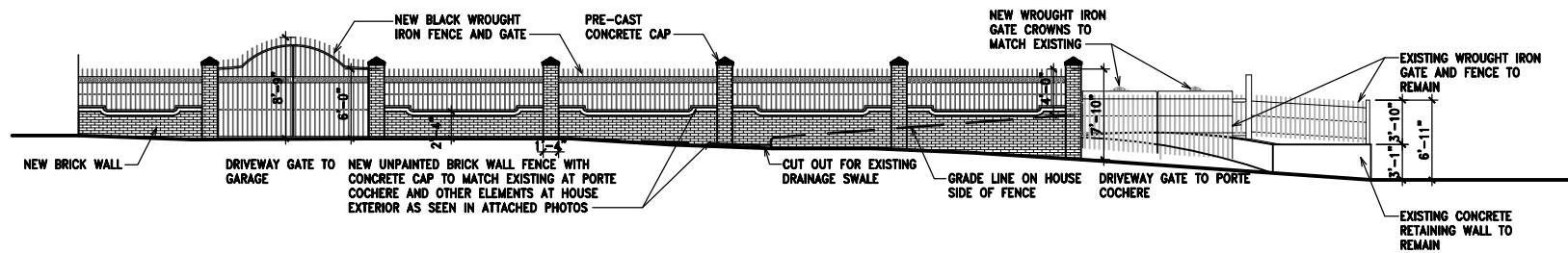




# 1 WEST ELEVATION - NEW FENCE ALONG HOWARD STREET

07-15-2021    GARRETT RESIDENCE    125 W. ASHBY PLACE, SAN ANTONIO, TX 78212    FRANKLIN ARCHITECT, LLC    SCALE: 1/8" = 1'-0"





# 1 WEST ELEVATION - NEW FENCE ALONG HOWARD STREET

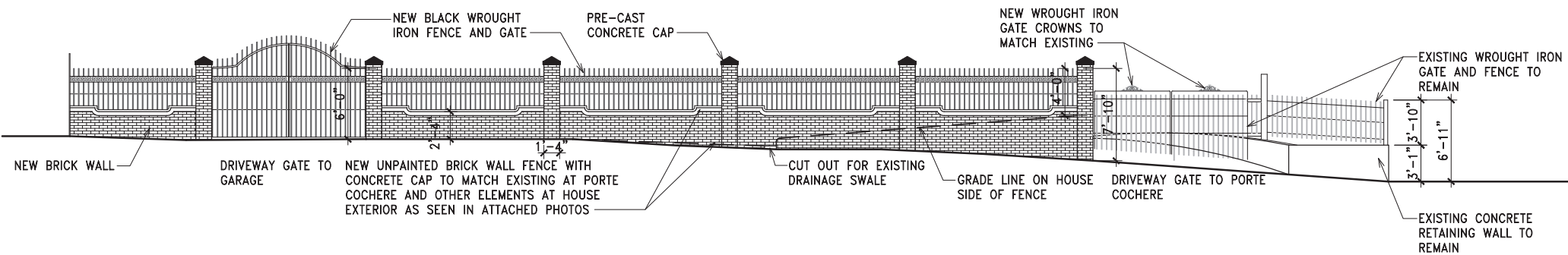
07-15-2021

GARRETT RESIDENCE

125 W. ASHBYP PLACE, SAN ANTONIO, TX 78212

FRANKLIN ARCHITECT, LLC

SCALE: 1/16" = 1'-0"



## 1 WEST ELEVATION - NEW FENCE ALONG HOWARD STREET

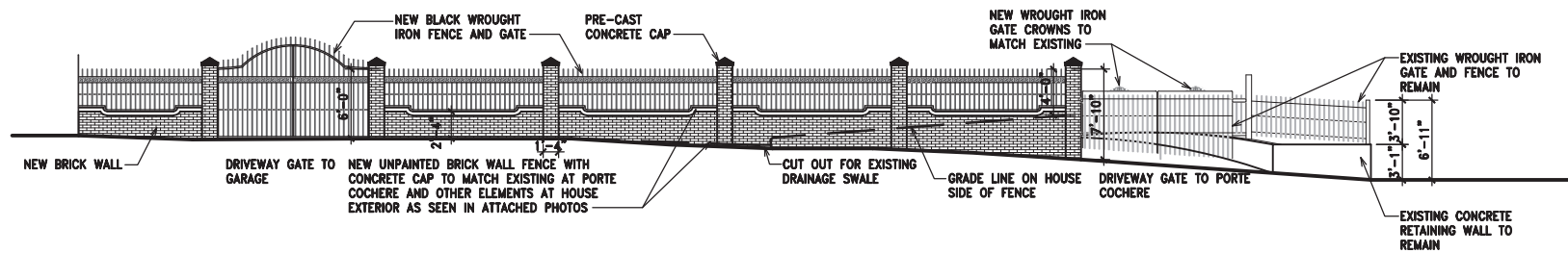
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GARRETT RESIDENCE

125 W. ASHBY PLACE, SAN ANTONIO, TX 78212

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SCALE: 1/8" = 1'-0"



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EXISTING CAP DETAIL



EXISTING CAP DETAIL



EXISTING GREEK KEY DETAIL





EXISTING CAP DETAIL

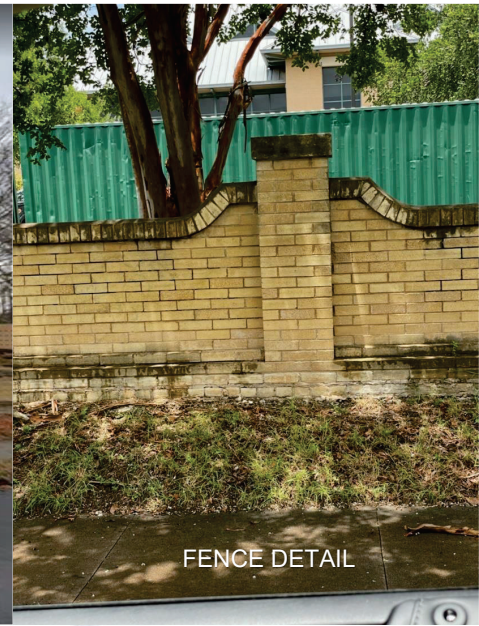


EXISTING CAP DETAIL



EXISTING CAP DETAIL







125 W. Ashby Place, San Antonio, TX 78212

## MATERIAL PHOTO SPECIFICATIONS

### RETAINING WALL:

Unpainted brick wall with concrete cap to match existing detail at Porte Cochere and other elements at house exterior.



### FENCE:

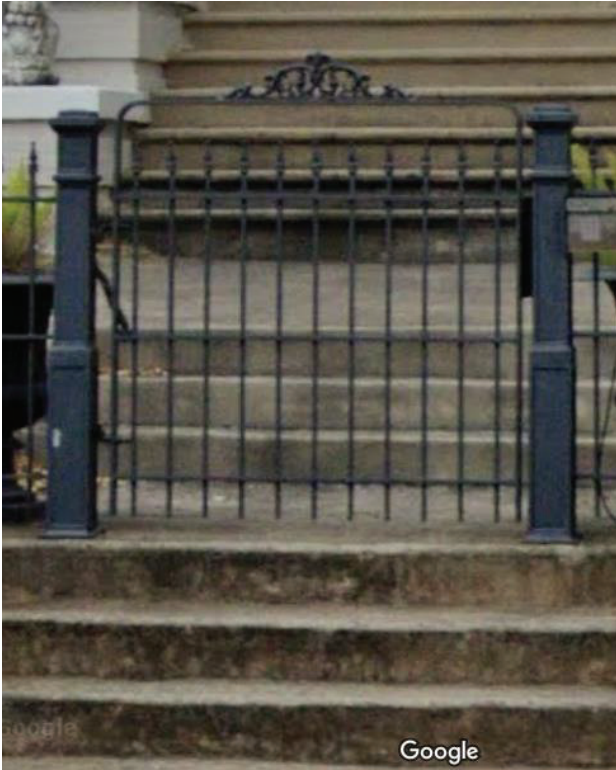
Black wrought iron fence with Greek key pattern as seen on the existing gate. Rods and finials to match existing fence.



125 W. Ashby Place, San Antonio, TX 78212

GATE CROWN

Proposed black wrought iron gate crown for existing gate at driveway to Porte Cochere to match existing.



Gate Crown Pontalba Style, 62-X,  
23"W x 6"H



Franklin Architect

Project Address: 125 W. Ashby Place, San Antonio, TX 78212

Date: 7/15/2021

Project Description:

- Replace existing wrought iron fence and concrete retaining wall with new wrought iron fence and brick retaining wall in same location.



REPLACE EXISTING FENCE  
WITH NEW FENCE IN SAME  
LOCATION

NEW 13'-0" ELECTRONIC  
GATE

REPLACE EXISTING FENCE  
WITH NEW WROUGHT IRON  
FENCE AND RETAINING WALL  
IN SAME LOCATION

EXISTING CONCRETE  
RETAINING WALL &  
WROUGHT IRON FENCE

**HOWARD ST.**  
(40' R.O.W.)

**N 00°04'00" E 110.27' (F.M. & PLAT)**

**N 90°00'00" E 97.00' (F.M. & PLAT)**

**N 90°00'00" W 97.00' (F.M. & PLAT)**

**W. ASHBY AVE.**  
(55.8' R.O.W.)

**CONC. DRIVE**

**CONC. DRIVE**

EXISTING  
SWALE

**BRICK WALL**

**COV. CONC. DRIVE**

**RES. #125**

**RES. #123**

**ENCROACHMENT -**

**COM. WAL.**

**CONC. WALK**

**TILE PATIO**

**COV. WOOD DECK**

**BRICK COLUMN**

**BRICK COLUMN**

**WOOD STEPS**

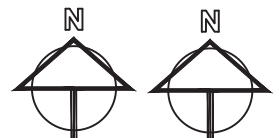
**CONC. DRIVE**

**LOT A-1  
N.C.B. 1885**

**SET "X"  
ON CONC.**

# 1 NEW ARCHITECTURAL SITE PLAN

07-15-2021 125 W. ASHBY PLACE, SAN ANTONIO, TX 78212 SCALE: 1/16" = 1'-0"  
FRANKLIN ARCHITECT, LLC



PLAN  
NORTH

TRUE  
NORTH