

HISTORIC AND DESIGN REVIEW COMMISSION

August 04, 2021

HDRC CASE NO: 2021-365
ADDRESS: 822 N PINE ST
LEGAL DESCRIPTION: NCB 1656 BLK D LOT 4
ZONING: R-5, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: lance Lubke/ALL LIVING TRUST
OWNER: lance Lubke/ALL LIVING TRUST
TYPE OF WORK: Installation of 1x6 porch decking
APPLICATION RECEIVED: July 20, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to replace the existing, non-original porch decking with new porch decking. The applicant is proposing to replace the existing 1x12 porch decking with 1x6 porch decking.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

A. MAINTENANCE (PRESERVATION)

- i. Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

FINDINGS:

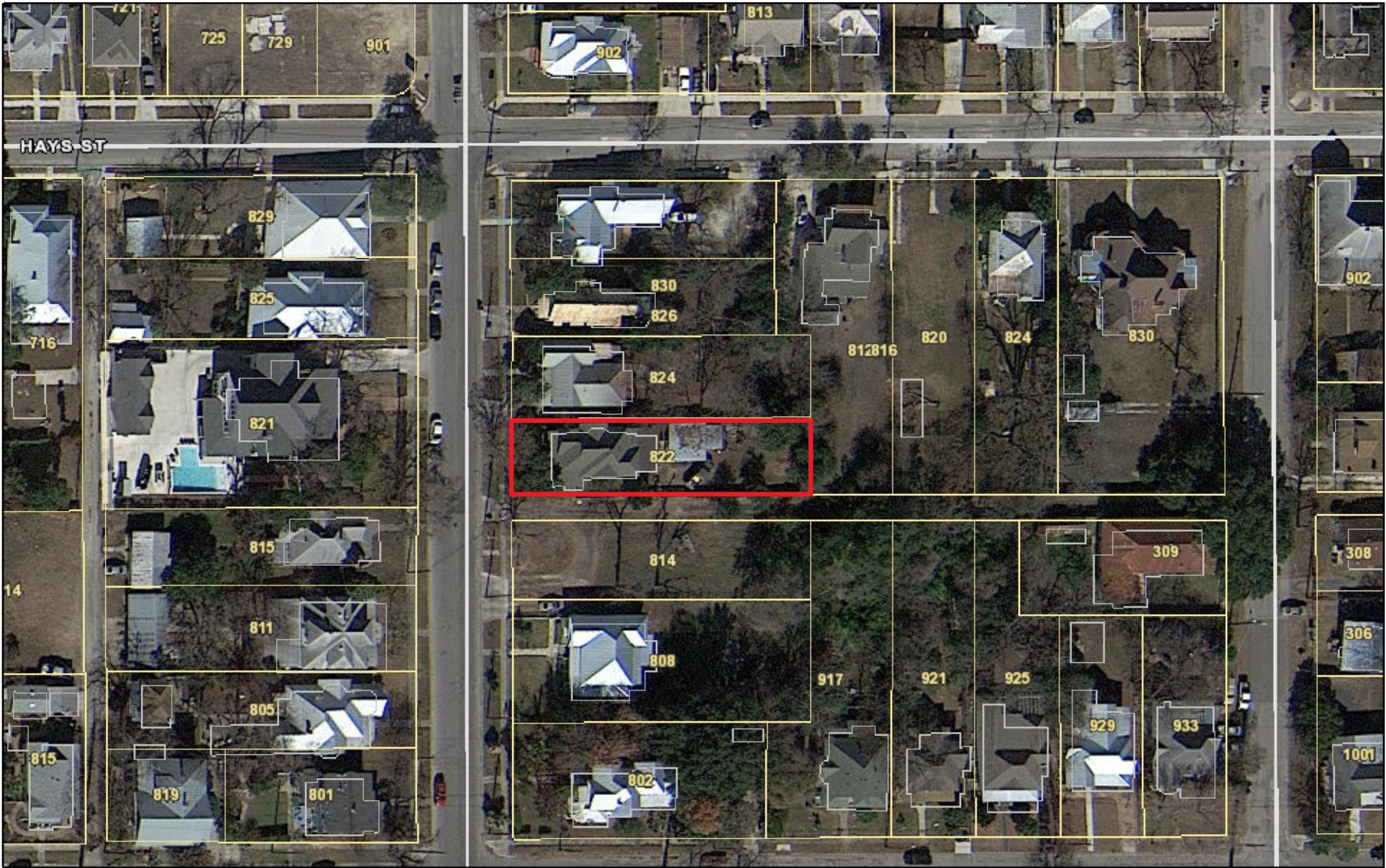
- a. The applicant is requesting a Certificate of Appropriateness for approval to replace the existing, non-original porch decking with new porch decking.
- b. VIOLATION – Work to replace the existing, non-original porch decking began prior to the issuance of a Certificate of Appropriateness. A site visit was conducted and a violation notice was issued on July 21, 2021.
- c. DECKING REPLACEMENT – The applicant has proposed to replace the existing, non-original, 1x12 porch decking boards with 1x6 porch decking boards. Per the Guidelines for Exterior Maintenance and Alterations, replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish. Staff finds the replacement of non-original porch decking to be appropriate; however, staff finds that 1x3 tongue and groove porch decking should be installed, perpendicular to the front façade of the historic structure.

RECOMMENDATION:

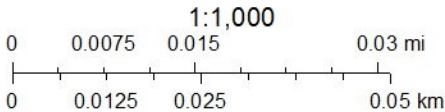
Staff recommends approval based on finding c with the following stipulation:

- i. That the applicant install porch decking that features a 1x3, tongue and groove profile and that all decking is installed perpendicular to the front façade.

City of San Antonio One Stop



July 29, 2021



EXISTING PORCH DECKING



EXISTING PORCH DECKING





EXISTING PORCH DECKING



PROPOSED PORCH DECKING





Investigation Report

Property

Address	822 N Pine
District/Overlay	Dignowity Hill
Owner Information	Anita Ortiz

Site Visit

Date	07/21/2021
Time	09:44 AM (-5 GMT)
Context	citizen report
Present Staff	Edward Hall
Present Individuals	Homeowner
Types of Work Observed	Exterior Maintenance and Alterations
Amount of Work Completed	75%
Description of work	Porch decking replacement without a COA.

Action Taken

Violation Type	No Certificate of Appropriateness (Code 35-451a)
OHP Action	Posted additional "Stop Work Notice", Posted "Notice of Investigation", Spoke with property owner
Will post-work application fee apply?	To be determined


Documentation




Investigation Report

Photographs

July 21, 2021 at 9:22 AM
822 N Pine St
San Antonio TX 78202
United States

**CITY OF SAN ANTONIO**
OFFICE OF HISTORIC PRESERVATION
1901 S. Alamo St. San Antonio, Texas 78204
7:45am - 4:30pm Monday - Friday
(210) 207 - 0035



NOTICE OF INVESTIGATION

ADDRESS: 822 N PINE [BCAD] OWNER: ANITA DEITZ

An investigation of this property has been performed by the Office of Historic Preservation and the following violations have been identified:

☒ Code 35-451(a): Work without Certificate of Appropriateness (COA): PERMANENT OF POACH
NECKLINE

☐ Code 35-451(b): Work beyond Scope of Approval: _____

☐ Code 35-61.5: Demolition by Neglect: _____

STOP WORK: ☒ Yes | Not Applicable

Please contact the Office of Historic Preservation within 48 hours of the inspection date: JUL 21, 2021

A re-inspection by staff may occur without prior notice; photographs have been recorded for evidence.

Continued failure to comply with the laws of the City of San Antonio and the State of Texas will subject you to criminal and civil prosecutions, to the full extent permitted by law. Violations of City ordinances are criminal class C violations and will be prosecuted accordingly. Violations of State law are also subject to civil prosecution in state district court by the City of San Antonio. Penalties for continued violations of the law include but are not limited to: (i) a criminal conviction on your record; (ii) court costs; (v) civil penalties in the range of \$1,000.00 per day; (v) attorney's fees; (vi) repayment to the City of the costs to prosecute you; (vii) liens on your property and filed with the county deed records; (viii) a judicial finding that you have maintained a nuisance and are responsible to the community for the same; (ix) demolition of your property; (x) If you are found to be a scofflaw, the City may deny you further and future permits for this project and others, etc.



Investigation Report





Investigation Report

	 <p>July 21, 2021 at 9:33 AM 822 N Pine St San Antonio TX 78202 United States</p>	
	07/21/2021 09:45 AM	
	Additional photos were taken on another device.	No